

Acknowledgement:

1. The undersigned declares that the information provided is true and accurate.
2. I understand that Stormwater runoff from the Property is not permitted to adversely affect adjacent properties.
3. The East Prospect Borough Engineer or Representative or other designee, upon presentation of proper identification, is hereby granted access to the Property for review and inspection of the property, if necessary.
4. I understand that if an Exemption to the SWM Site Plan preparation is granted by East Prospect Borough, I am solely responsible for compliance with Stormwater Rate and Volume Controls as required by Ordinances and applicable law and shall hold harmless East Prospect Borough from any liability or expense in granting the Exemption.
5. I understand that East Prospect Borough may deny or revoke any Exemption at any time if East Prospect Borough determines there is a threat to Public Health, Safety, Property or the Environment.

Signature(s) (Property Owner)

Date

Signature (Applicant, if different from Property Owner)

Date

Within five (5) business days of receipt of this completed Application fee (including any applicable fees), East Prospect Borough or its designee will review the information provided and contact the Property owner to inform them of what SWM Site Plan requirements apply to the Project. East Prospect Borough will utilize the following steps in making its determination:

Step 1:

If the total new Impervious Area (cumulative since February 4, 2014) is 100 square feet or less, the project shall be Exempt from the SWM Site Plan preparation requirements, Volume Control, Peak Rate Control and Municipal review and approval, provided the activity does not adversely affect Adjoining Properties or cause Erosion.

Step 2:

If the total new Impervious Area (cumulative since February 4, 2014) is, per Table 1, below, the Project shall be Exempt from the SWM Site Plan preparation requirements unless East Prospect Borough or its designee determines that there is a reasonable likelihood the proposed activity will have an adverse impact on Adjoining Properties or cause Erosion. If an Exemption is granted, the requirements for meeting Rate and Volume Controls must still be met. A list of Stormwater Best Management Practices (BMP's) and Sample Drawings that may be utilized to meet the required controls is included in this application. It is the Property Owner's responsibility to select, design and install appropriate BMP's that meet the requirements of the

East Prospect Borough Stormwater Management Ordinance. Additional BMP's and guidance can be found in the Pennsylvania Stormwater BMP Manual available at DEP's website (www.depweb.state.pa.us).

Step 3:

If an Exemption is not granted as outlined in Step 2 or if the total new Impervious Area (cumulative since February 4, 2014) is greater than that in Table 1, the Project may qualify for submission of a Simplified SWM Site Plan per section 401.D of the East Prospect Borough Stormwater Management Ordinance. The East Prospect Borough Engineer and/or the Borough or its designee shall determine if a Simplified SWM Site Plan may be submitted for the project.

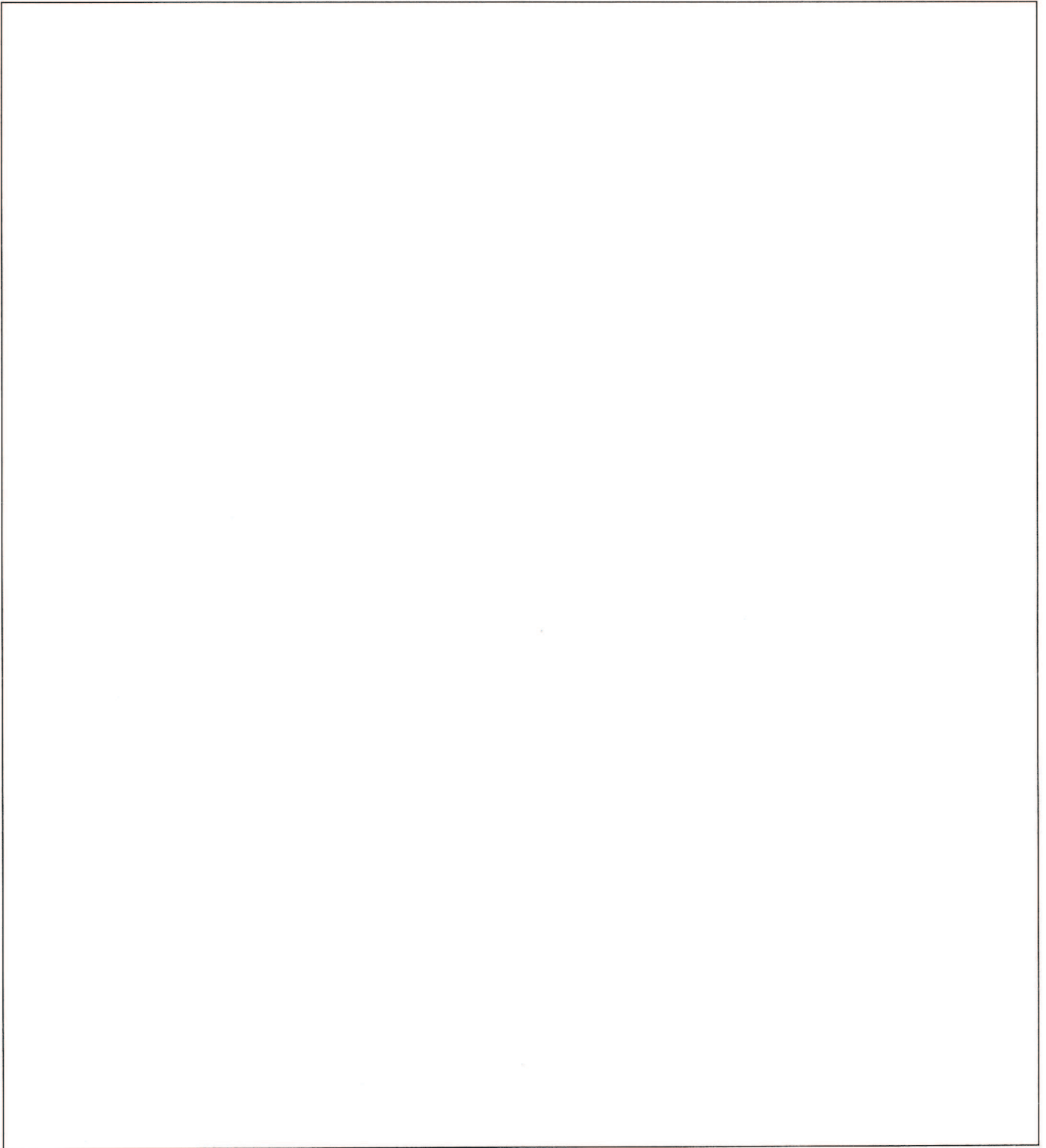
Existing Lot Size	Maximum New Impervious Area (cumulative since February 4, 2014)
0 to 0.25 acres	250 square feet
Greater than 0.25 to 0.50 acres	500 square feet
Greater than 0.50 to 0.75 acres	750 square feet
Greater Than 0.75 acres	1000 square feet

TABLE 1

Step 4:

If an Exemption or Simplified SWM Site Plan as outlined in steps 2 and 3 are not granted, a full SWM Site Plan, in accordance with the East Prospect Borough Stormwater Management Ordinance, shall be submitted.

SKETCH OF PROPOSED PROJECT



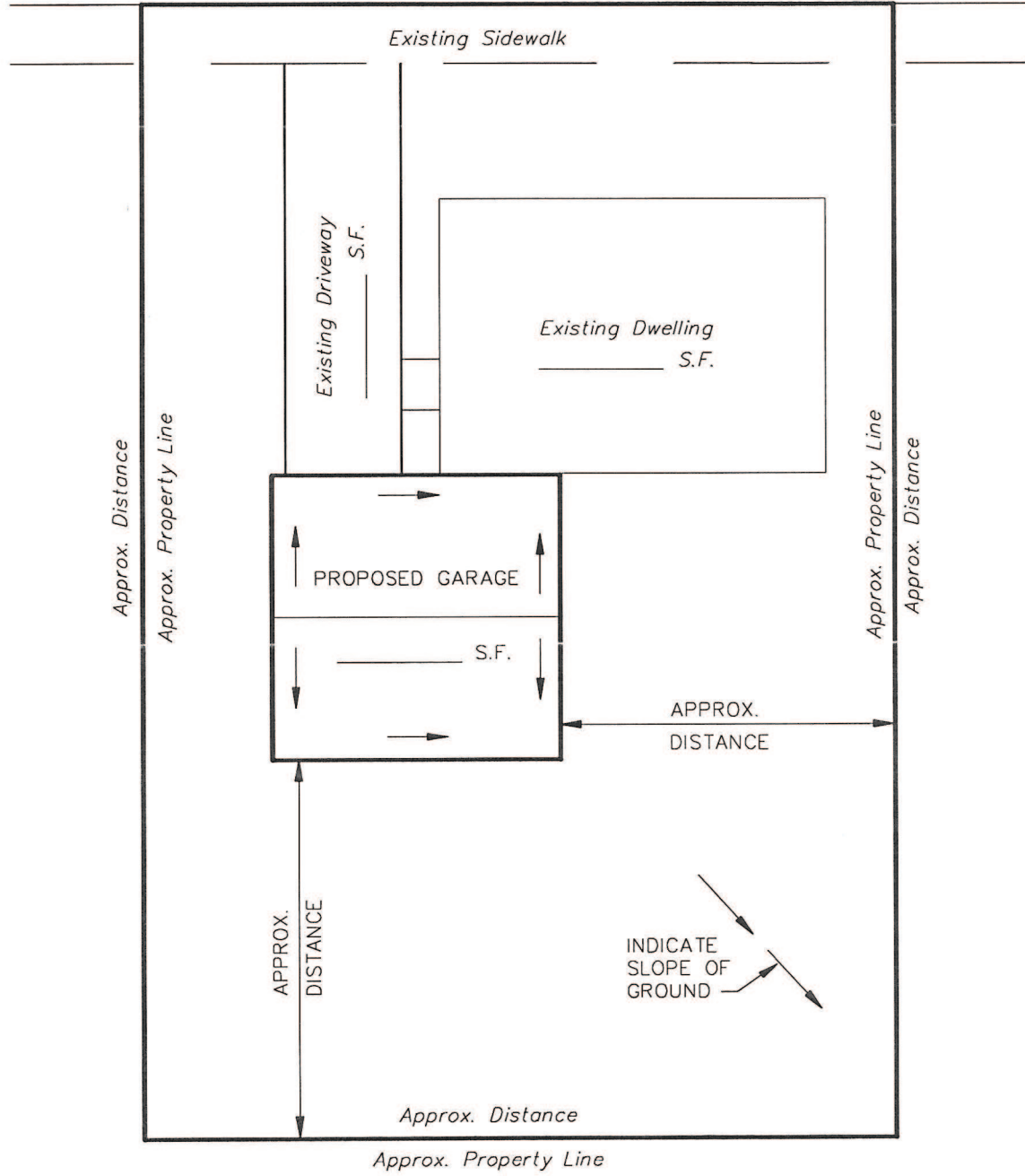
1. Include property lines, existing and proposed buildings, structures, driveways, patios, sheds, etc. (refer to the attached sample sketch). Also include significant natural features (creeks, ponds, etc.) on or adjacent to the property.
2. Include dimensions of proposed features.

List of potential BMP's:

- Non-Structural BMP's per the Pennsylvania Stormwater Best Management Practices Manual.
- Pervious Pavement with Infiltration Bed.
- Infiltration Basin.
- Subsurface Infiltration Bed.
- Infiltration Trench.
- Rain Garden / Bioretention.
- Dry Well / Seepage Pit.
- Constructed Filter.
- Vegetated Swale.
- Vegetated Filter Strip.
- Infiltration Berm and Retentive Grading.
- Vegetated Roof.
- Runoff Capture and Reuse.
- Constructed Wetland.
- Wet Pond / Retention Basin.
- Dry Extended Detention Basin.
- Water Quality Filters and Hydrodynamic Devices.
- Riparian Buffer Restoration.
- Landscape Restoration.
- Soil Amendment and Restoration.
- Floodplain Restoration.
- Level Spreader.
- Special Detention Areas – Parking Lot, Rooftop.
- Manufactured Products.
- Methods and/or Facilities approved by the Borough Engineer.


Z:\Municipal Projects\Act. 167 Information\East Prospect\Sample Sketch Plan.Dwg

STREET NAME



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DETAIL of
**STORMWATER MANAGEMENT ORDINANCE
 SAMPLE SKETCH PLAN**

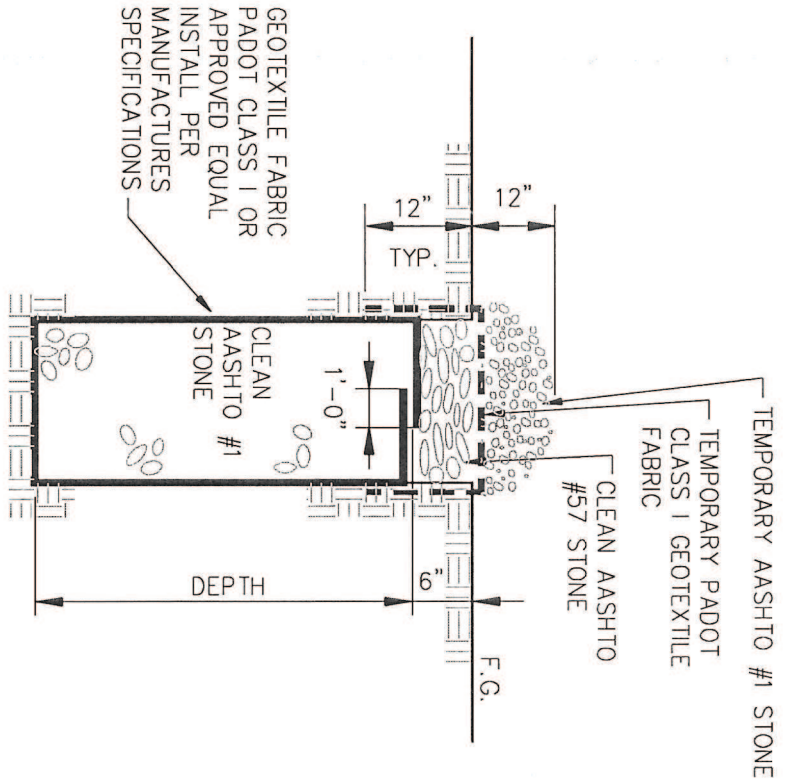

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EAST PROSPECT BOROUGH

YORK CO., PA

DWN. BY DL	CKD. BY DL	SCALE NTS	DATE 2/2013	PROJECT NO. 110201
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TEMPORARY
SEDIMENTATION
PROTECTION TO BE
REMOVED UPON FINAL
SITE STABILIZATION

NOTES:

1. LENGTH, WIDTH AND DEPTH AS REQUIRED FOR VOLUME.
2. DIRECT IMPERVIOUS SURFACE RUNOFF TO SEEPAGE TRENCH.

TYPICAL SECTION SEEPAGE TRENCH

DETAIL
OF

EAST PROSPECT BOROUGH

YORK CO., PA.



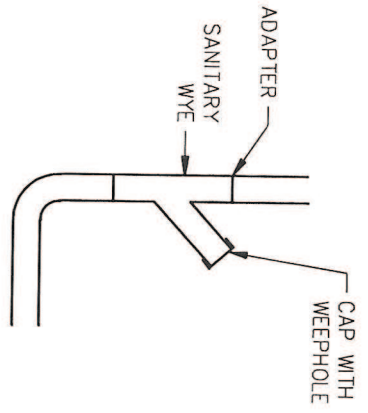
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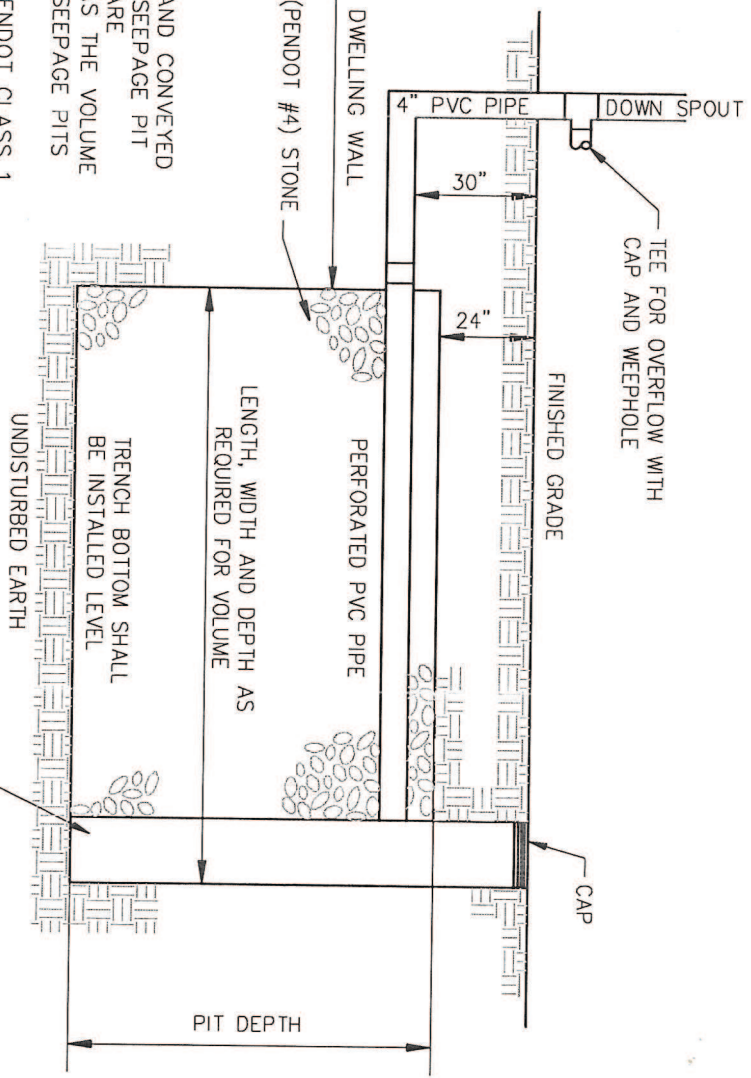


ALTERNATE

* TOP 12" OF STONE MAY BE 3/4" IN SIZE TO AID IN PIPE INSTALLATION

MIN. 15' FROM DWELLING WALL

* AASHTO #1 (PENDOT #4) STONE



- NOTES:**
1. ALL ROOF RUNOFF MUST BE COLLECTED AND CONVEYED TO THE ROOF DRAIN SEEPAGE PIT. THE SEEPAGE PIT LOCATION AND HORIZONTAL DIMENSIONS ARE APPROXIMATE AND CAN VARY AS LONG AS THE VOLUME REQUIREMENTS ARE MET (TWO OR MORE SEEPAGE PITS MAY BE UTILIZED).
 2. SEEPAGE PIT(S) SHALL BE LINED WITH PENDOT CLASS 1 GEOTEXTILE MATERIAL PER PUBLICATION 408, SECTION 212.3b. ALLOW 1 FOOT OVERLAP ACROSS BACKFILL AT TOP OF THE PIT(S) AND ALSO AN OVERLAP OF 1 FOOT AT THE END OF ROLLS.
 3. AN INFILTRATION TEST MAY BE REQUIRED BY THE MUNICIPAL DESIGNER/ENGINEER.

TYPICAL ROOF DRAIN SEEPAGE PIT

DETAIL OF

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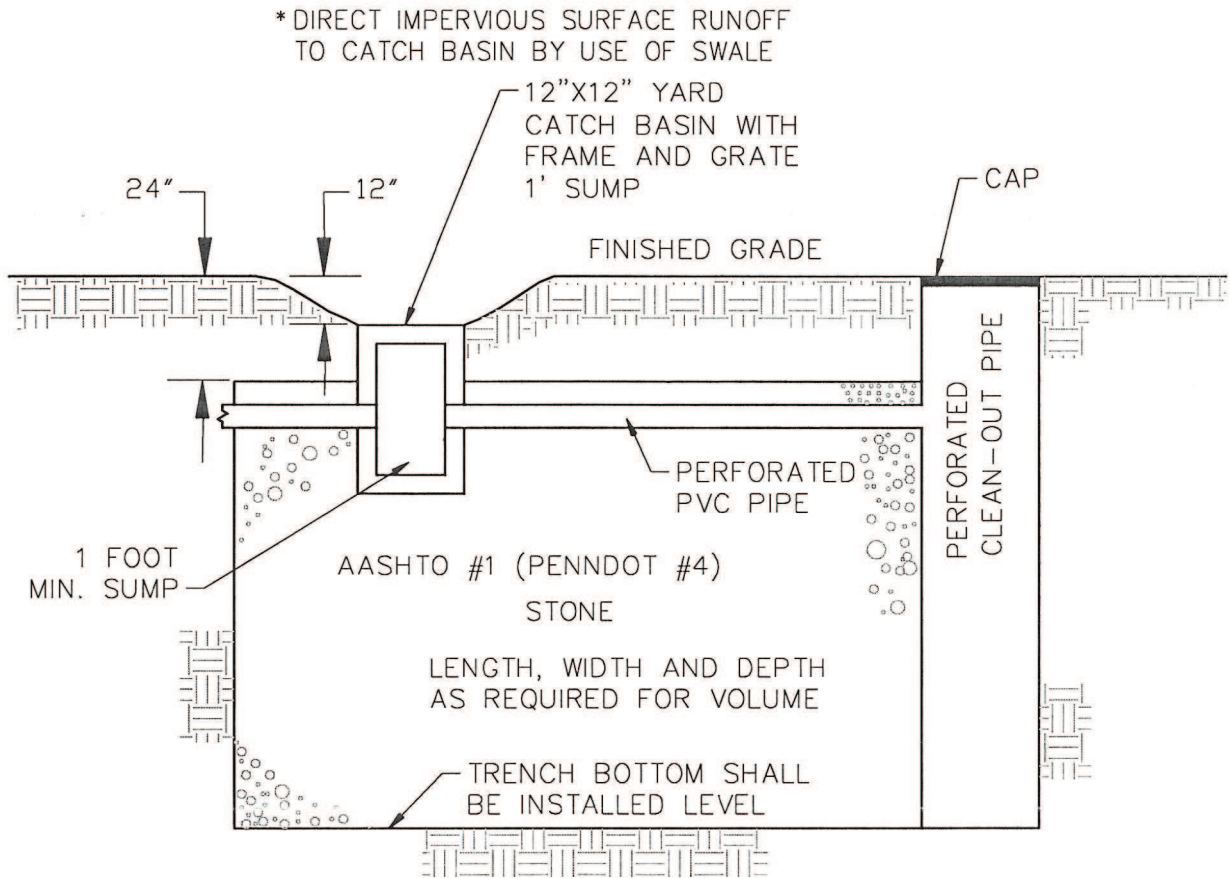
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TRENCH SHALL BE LINED WITH PADOT CLASS 1 GEOTEXTILE MATERIAL PER PUBLICATION 408, SECTION 212.3b. ALLOW 1' OVERLAP ACROSS BACKFILL AT TOP OF TRENCH AND ALSO AN OVERLAP OF 1' AT END OF ROLLS.

Z:\Municipal Projects\Act. 167 Information\East Prospect\Seepage Pit Detail With Inlet.Dwg

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DETAIL OF
SEEPAGE PIT WITH INLET

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